

AVAILABLE - FOR LEASE **BOWMAN PLACE PHASE II, BUILDING B**

1561 JOHNNIE DODDS BLVD. MT. PLEASANT, SC

RETAIL | OFFICE

Shop. Dine. Work. Play.



Retailers include:



OFFERED BY



(843) 856-4600
www.belklucy.com

Trey Lucy
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(843) 606-5455 — direct office
(843) 566-2867 — mobile

AND

Blair Belk, CCIM
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PROPERTY INFORMATION



BOWMAN PLACE - PHASE II

Belk | Lucy is pleased to present the exclusive listing for the second phase of Bowman Place, one of Mt. Pleasant's freshest retail destinations. Bowman Place Phase II is a first-class project offering opportunities for both retail and office.

- Join awesome tenant mix including Dick's Sporting Goods, Nordstrom Rack, DSW, Lidl, J.Crew Factory, Two Cumberland, Kairos Mediterranean, Vitamin Shoppe, and XFinity
- Capitalize on high visibility and existing retail traffic from Phase I
- Benefit from easy ingress and egress and convenient location at intersection of I-526 and Hwy 17 (Johnnie Dodds Blvd)
- Meet your business needs and wants with forward-thinking buildings

DEMOGRAPHICS (5-MILE)

Population	77,230
Households	33,489
Avg. HH Income	\$160,145
Traffic Count (Hwy 17)	68,500 vpd
Traffic Count (Bowman Rd)	16,400 vpd

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SITE PLAN



Future Amenities:

- Office/retail park community
- Pocket park
- On-street parking
- Walkability

Birds eye view East

BOWMAN PLACE

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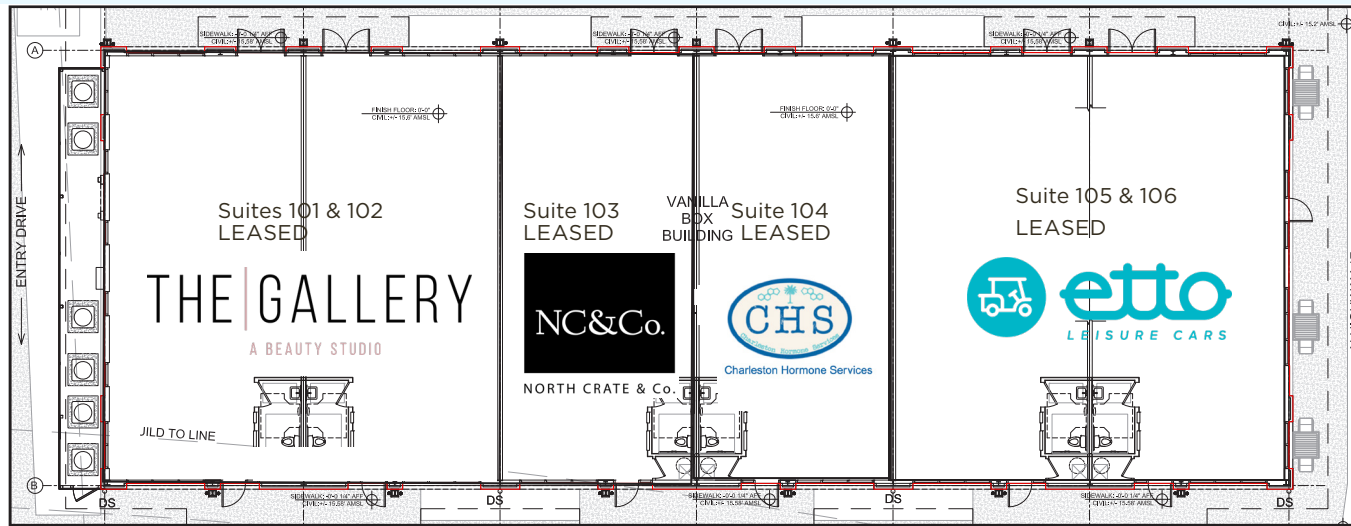
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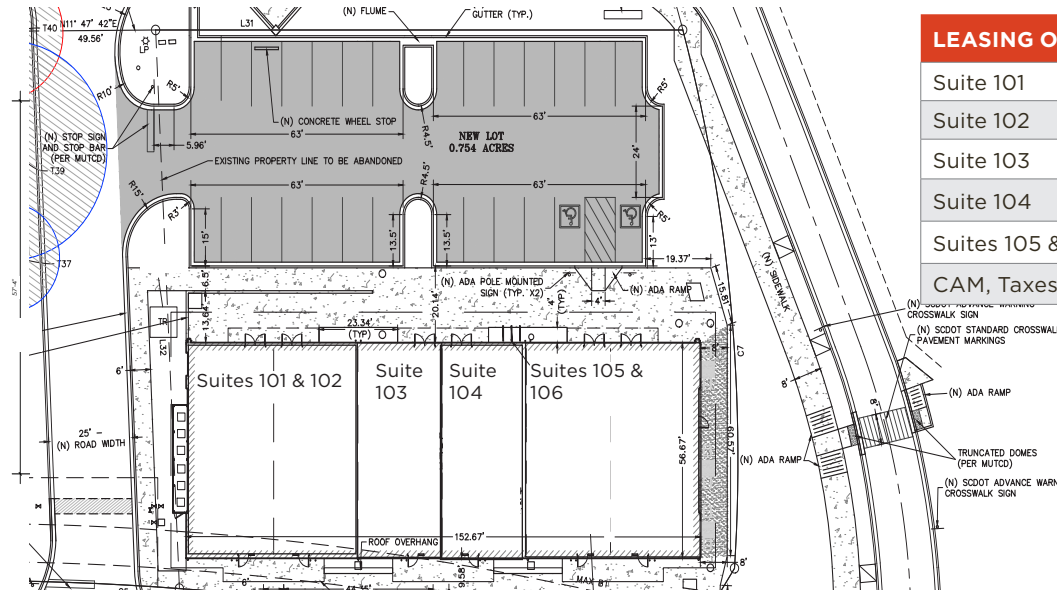
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BUILDING B PLAN



- Building B
 Delivery Condition:
- 200-amp electrical panel
 - HVAC hung, powered and distributed
 - 1 ADA restroom
 - Slab poured & polished finish
 - Basic lighting installed
 - Demising walls and outlets installed



LEASING OPPORTUNITIES

Suite 101	1,431 sf	Leased.
Suite 102	1,405 sf	Leased.
Suite 103	1,405 sf	Leased.
Suite 104	1,405 sf	Leased.
Suites 105 & 106	2,836sf	Leased.
CAM, Taxes, Ins. (est.)		\$7.00/sf

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AERIAL



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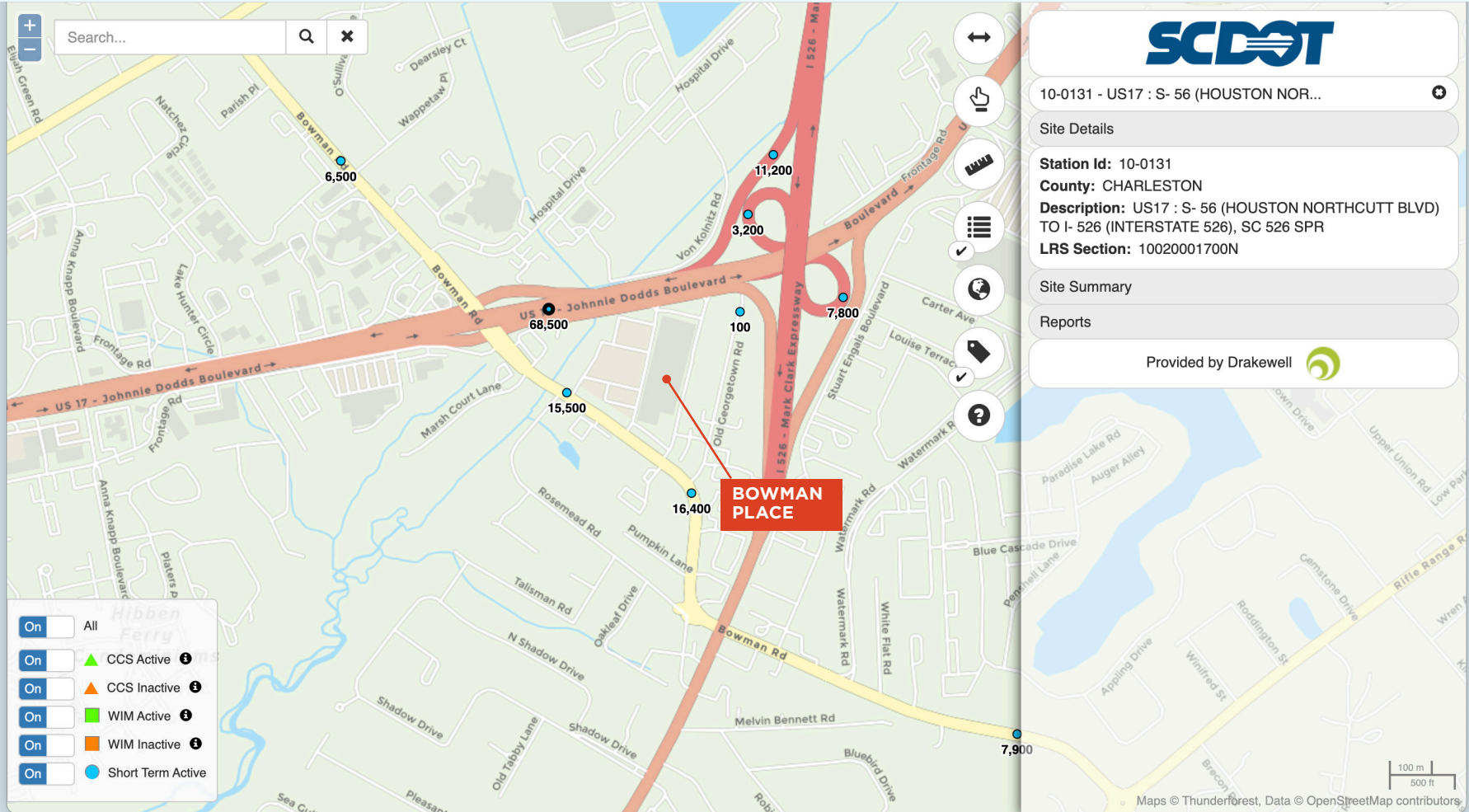
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TRAFFIC COUNT MAP



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